



31 Longland Drive, London, N20 8HG

£1,175,000

- Two Bathrooms (One en-suite)
- 0.3 miles to Totteridge & Whetstone Tube
- Guest W.C.
- Patio Leading to Landscaped Garden
- Council Tax Band G
- Open Plan Kitchen / Dining Area
- Garage
- Four Double Bedrooms
- Drive with Electric Charging Point
- Reception

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An extended four double bedroom, semi-detached family home in a sought-after location. Features include a spacious lounge, open plan kitchen with dining area, utility room, two bathrooms (one en-suite), guest cloakroom and integral garage. Externally, there's a private driveway with EV charging, a landscaped rear garden with patio and outbuilding and easy access to Dollis Valley Greenwalk. Located within 0.3 miles of Totteridge & Whetstone station

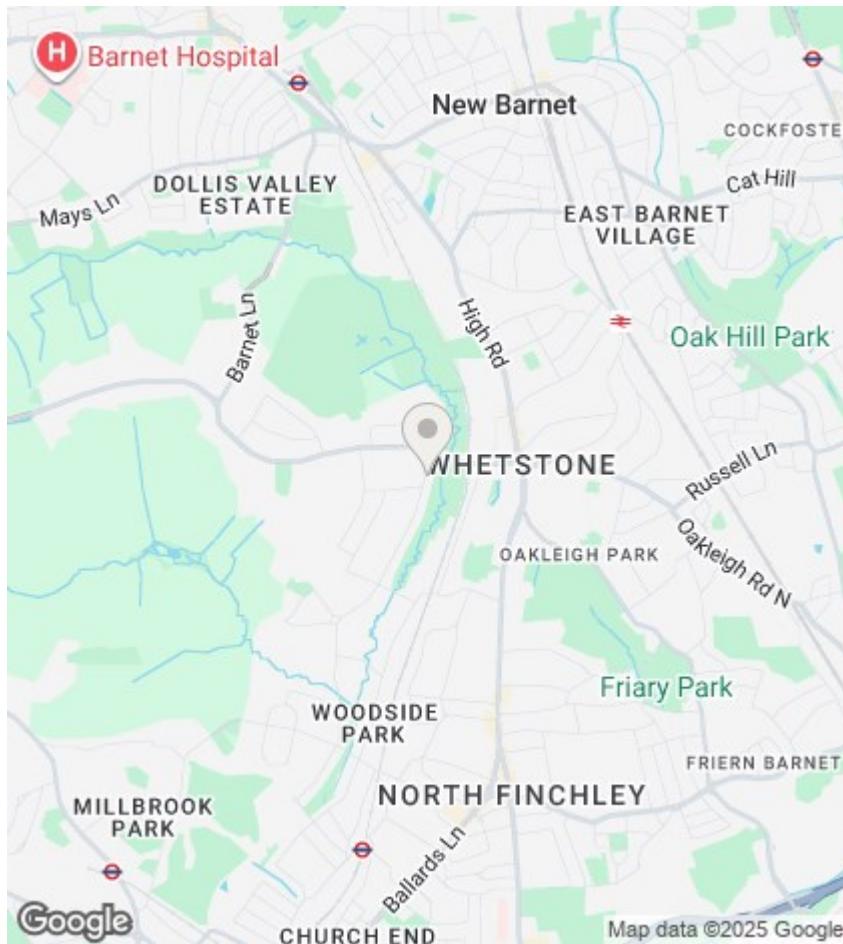


Council Tax Band: G



Full Description

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Directions

Viewings

Viewings by arrangement only. Call 020 8446 4295 to make an appointment.

EPC Rating:

D

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales	EU Directive 2002/91/EC	